



THE
RANCHES

Landscape Guidelines



Single Family Landscape Guidelines

Ranches HOA, Eagle Mountain Utah

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Approval, Install & Maintenance Process

✓ Create landscape plan

- Follow the landscape guidelines starting on page 4.
- Create a base map on graph paper. See instructions on page 18.
- Single family homes landscape plan may be prepared by homeowner (professional design recommended).
- Use the Plan Checklist /Acceptance Letter (see page 16) and sample plans (see pages 19-20).
- Plans submitted without adequate and accurate measurements or a proper scale will may be rejected.

✓ Submit to HOA for approval

- HOA members can submit the plans to the HOA office at any time during regular business hours. Please submit two (2) scaled copies (1"=8', 1"=10' or 1" = 20'). The HOA office address & phone number is 3688 E Campus Dr. #101 Eagle Mountain, UT 84005 (801) 789-7900.

✓ Receive approval

- If, after review, the submitted landscaping plans satisfy the landscape requirements, approval shall be granted. The Plan Checklist will be stamped as approved and a copy given back to the HOA member. If the submitted plans do not meet requirements, revisions shall be made or a variance may be requested to the Design Review Committee. Contact the HOA office for meeting times (801) 789-7900.

✓ Build according to plan within timeframe (180 days)

- Front and rear landscaping completed no later than 180 days from construction or occupancy (which ever comes first). If occupancy occurs after snowfall, the 180 days will commence on April 30th.
- Owner will be fined \$1000 for incomplete landscaping and an additional \$25.00 per calendar week from the end of the 180 days until landscaping is completed.
- HOA will inspect the landscaping to verify installation according to plan; fines and landscaping changes may be imposed for deviations from approved plans.

✓ Maintaining the yard

- No noxious insects and plant diseases.
- Weed-free attractive appearance.
- Irrigate as necessary to maintain healthy and appearance.
- Cut as necessary to prevent weeds and fire danger.
- HOA will inspect lots to ensure proper maintenance; fines may be imposed for violations.
- Any required plant that dies must be replaced with an equivalent live plant within 90 days or, if during winter, by the next April 30th.

Landscaping Requirements

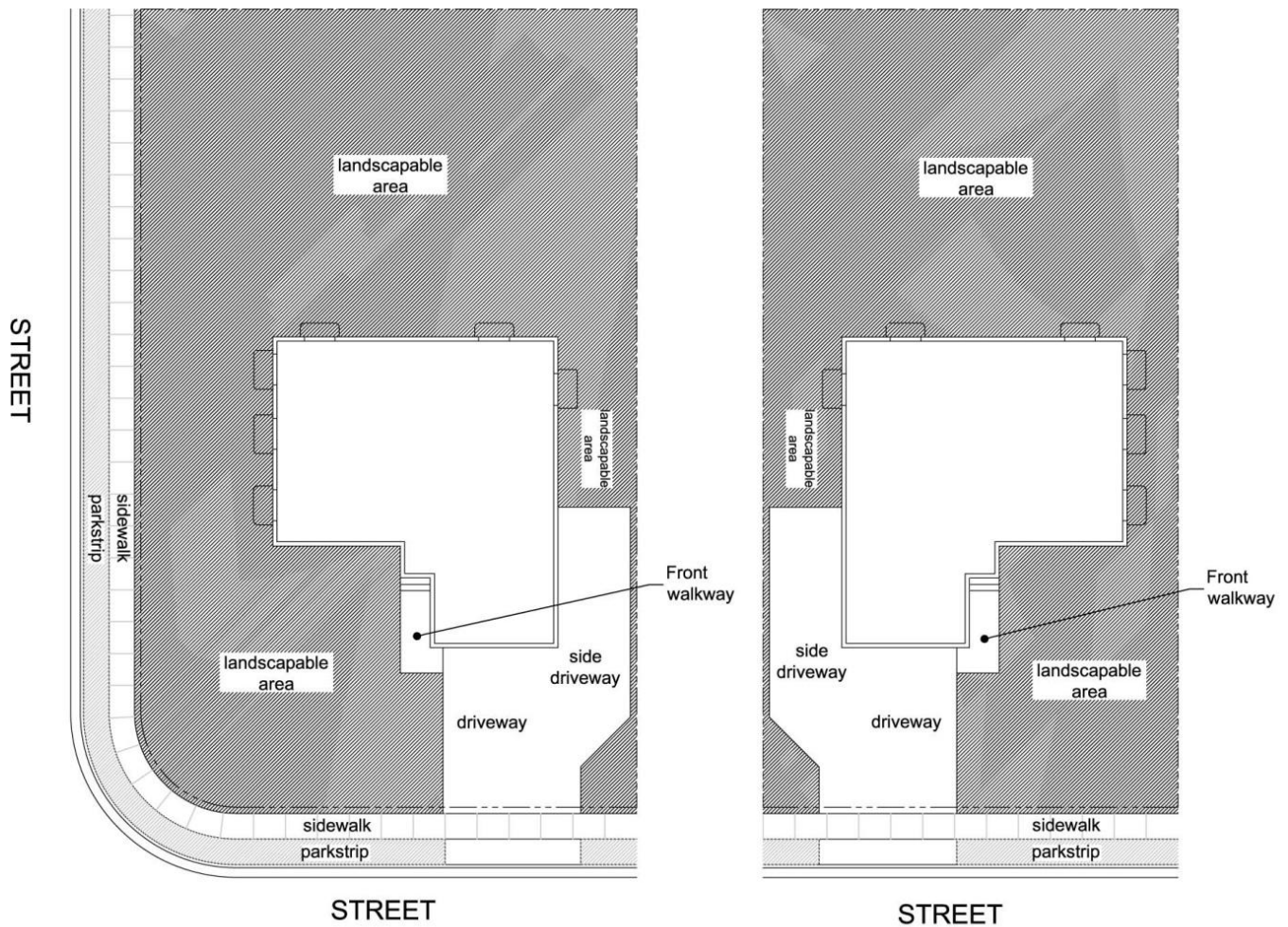
Any landscaping requires pre-approval from the Design Review Committee including but not limited to:

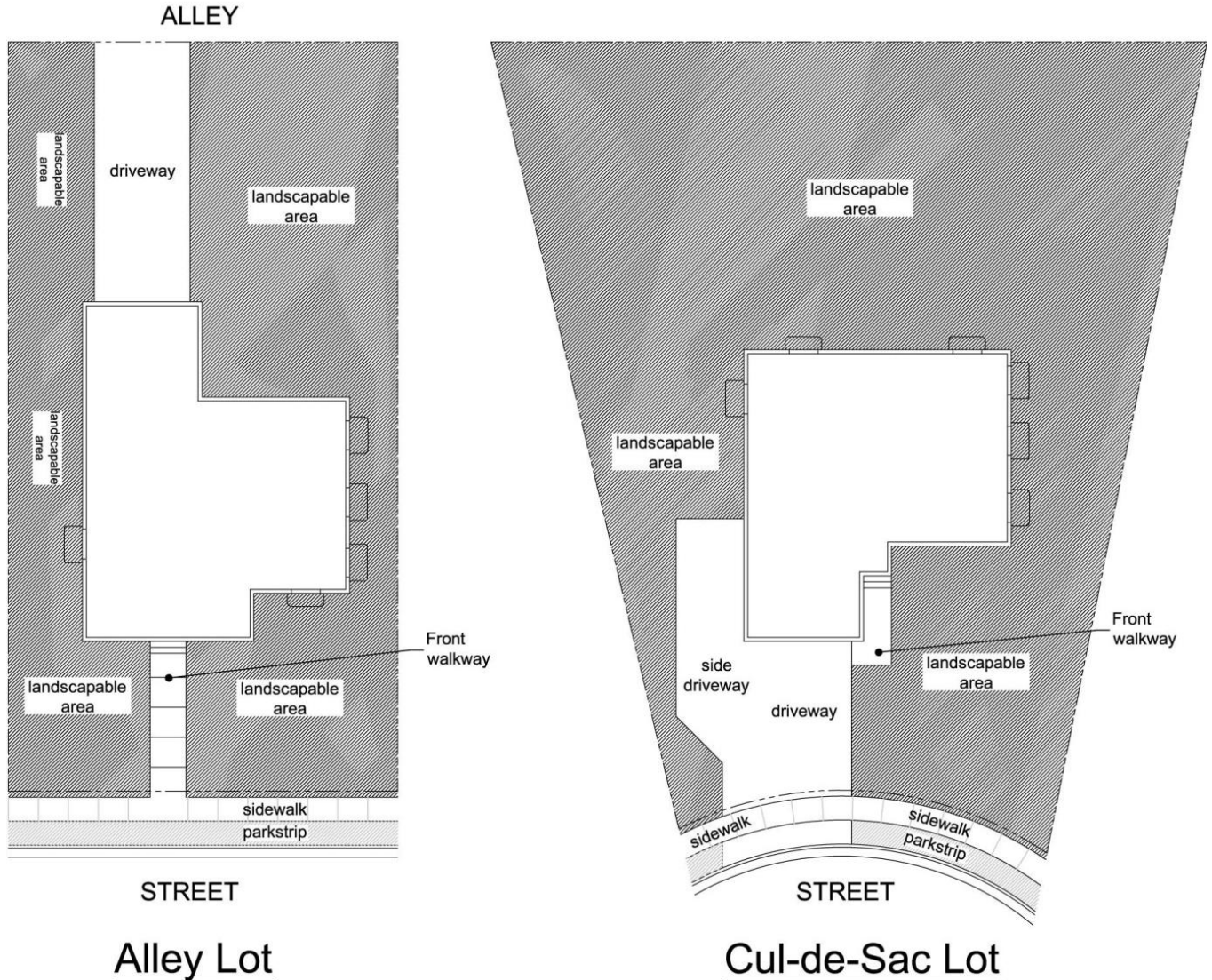
- | | | | |
|-----------------|--------------|----------|-------|
| Fencing | Gazebos | Shrubs | Rock |
| Screening Walls | Patio Covers | Trees | Stone |
| Retaining Walls | Roofing | Mulch | |
| Arbors | Lawn | Boulders | |

Single-Family Residential Requirements

1. Landscape Area

Landscape area for single-family residence is defined as the total area from the sidewalk along the public right of way to the rear most property line then subtracting the footprint of the house, permanent outbuildings, walkway to the front door and driveway. The park strip should not be included as landscapable area, except in instances that it is within the property boundary, although park strips are required to be landscaped and maintained with the front yard.





All Landscaped areas shall be categorized into one of the following landscape types, each with specific requirements as defined in these guidelines.

- 1.1. **Turf (Sod)** shall include standard species of grass that will *grow and fill to create an attractive and consistent appearance*. This shall not include artificial turf in any form.
- 1.2. **Planter Beds** shall include landscape areas that are intended for plant material other than turf (sod). These shall include areas with soil, rock or organic mulch and having plants interspersed. Planter beds are not intended to dominate the landscape areas please refer to section 2.2 of these guidelines for specific requirements.
- 1.3. **Xeriscape** shall include landscape areas utilizing drought-tolerant plant material and low water use irrigation systems. Please refer to section 2.9 of these guidelines for specific xeriscape requirements.
- 1.4. **Hardscape** shall include portions of the landscape area covered by hard surfaces. Hard surfaces are defined as areas incorporating concrete, pavers, stepping stones, or retaining walls. Rock used in landscaping for decorative purposes, or as a planter bed cover shall not be considered a hard surface. Hardscape areas shall include but not be limited to the following: Pathways, Driveways, Patios, Sport Courts, etc.

- 1.5. **Play Equipment Area** shall include a large enough area to provide safe use of all play equipment. These areas shall be kept free of plant material and should be covered with a surface material that will provide appropriate safety for the type of activity contemplated. Further, border material (e.g. concrete curbing, metal edging, pavers, etc.) shall be used to contain any surface material within the Play Equipment Area.
- 1.6. **Garden Area** shall include an area specifically designated for growing seasonal plants such as vegetables, fruit, flowers, etc. See section 2.4 for specific guidelines for garden areas.

2. Landscaping Requirements

The following guidelines are to be used as you plan and install all landscape areas.

2.1. Turf (sod)

- Maximum coverage: 80% of front yard landscapable area
- Minimum coverage: 50% of front yard landscapable area (75% for corner lots)
- Park strip area shall be all turf (sod) with the exceptions of a three (3) foot diameter circle around each street tree.
- Turf shall not be installed within two feet (2') of the foundation of buildings
- Artificial turf (sod) is not allowed.

2.2. Planter Beds

- Minimum plant coverage at installation: 50% of planter bed
- Minimum plant coverage 3 years after installation: 75%
- Seasonal flowers qualify as cover
- Planting beds shall include the two feet (2') adjacent to the foundation of each home
- Corner sightlines shall not have plantings exceeding 30 inches in height at maturity.
- Open areas not covered with plants shall be covered with wood or rock mulch (see section 2.5 for more details about Rock and Mulch).
- Plants should be selected from the recommended plant list (see Plant List page 21)

2.3. Trees

- Minimum in front yard: 1 trees (not including park strip trees)
 - See the Plant List on page 21.
 - The one (1) tree is to be deciduous with a caliper of one inch (1") or greater measured ten inches (10") above the top of the root-ball
 - Park strip trees do not count toward the one required front yard tree (see Park Strip section below)
 - Subdivisions without a dedicated park strip are required to install three (3) trees in the front yard.
- Additional trees required for lots over 10,000 square feet:
 - Lots 10,000 to 20,000 square feet shall have one (1) additional tree required in the front yard
 - Lots greater than 20,000 square feet shall have two (2) additional trees
 - Additional trees shall be 2" caliper or greater or be an evergreen at least 5' tall.
- Park strip trees:
 - To figure the amount of trees required, measure the entire length of property line adjacent to the public right of way(s). Divide the measured length by 30 and round up to the nearest whole number. The resultant number is the number of trees required in the park strip.
 - Minimum caliper of 2 inches measured ten inches (10") above the top of the root-ball
 - Park strip trees are not to be planted directly on property lines.
 - Park strip trees are required by the approved landscaping plan of each subdivision. A specific tree shall be required depending on the street. (See Park Strip Trees Listed per Subdivision by Street Name page 24)
 - Subdivisions without a dedicated park strip are required to install a minimum of three (3) trees in the front yard.

2.4. Gardens

- All garden areas are to be defined by a border to clearly separate the area from other landscape areas. Said border shall be constructed of durable material such as concrete, timbers, pavers, etc.
- Gardens are to be cultivated using furrows, or raised boxes to designate and define the growing area. The growing area shall be a minimum of 50% of the total garden area.
- Garden shall be regularly irrigated in order to maintain and keep all seasonal plants looking healthy.
- Gardens are to be maintained weed free at all times during the year.

2.5. Rock & Mulch

- All rock that will be used for the purpose of landscaping is required to have approval of the Design Review Committee.
- All planter beds shall be covered with a minimum depth of (3) inches of rock or wood mulch.
- Marble chips, volcanic rock, or high contrast stone patterns (i.e., red, green, white, and black) shall not be allowed. Natural earth tone stone material, such as washed river rock, may be used.
- Chipped concrete, pea gravel, etc and such rock under 3/4 of an inch are not acceptable.
- Suppliers:
 - Staker Parsons – 801-363-6478 (stakerparsonlandscape.com)
 - TLC Rock Products – 801-796-8392
 - Wholesale Landscape Supply – 801-735-6340

2.6. Soil Amendments

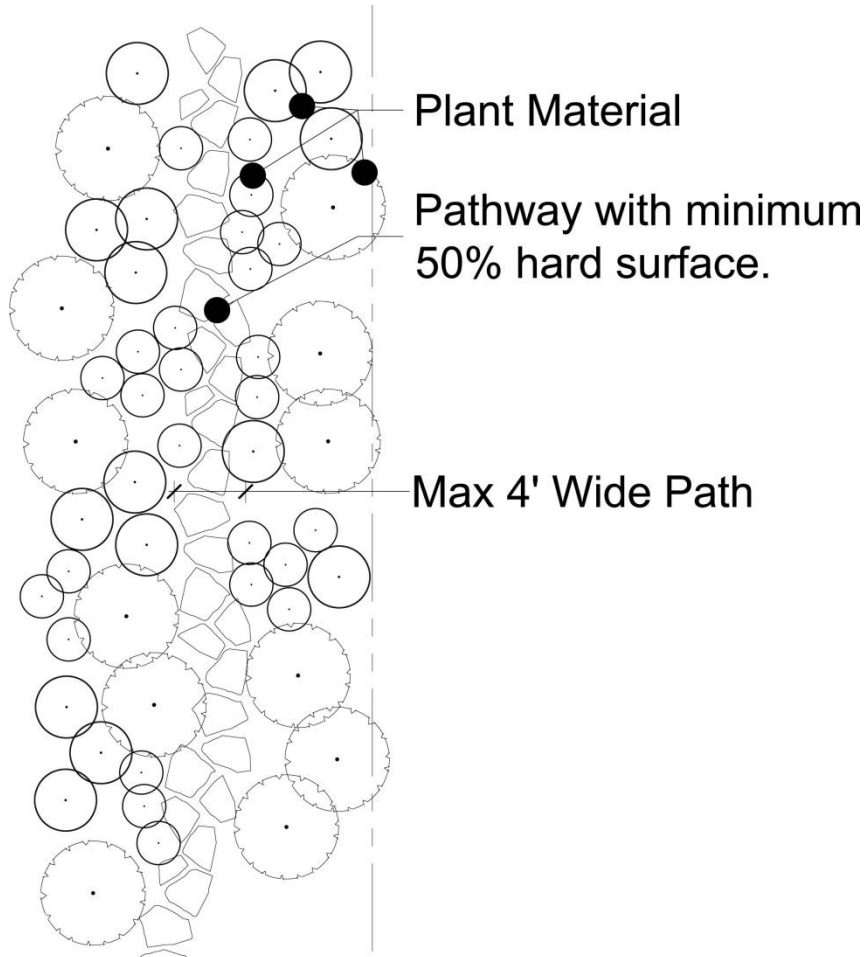
- The addition of soil amendments to existing soil is recommended. Proper soil texture and nutrients improve the overall appearance of plant material and therefore assist in beautifying our community. A soil test can be performed to ascertain the quality of on-site soil and make recommendations for improvements. Tests can be performed by labs such as BYU's Soils Lab or Utah State University Extension for a nominal fee. Contact them at the numbers below:
 - BYU Soils Lab – (801) 422-2147
 - USU Extension – (801) 851-8460

2.7. Irrigation

- All turf and landscape areas are required to be irrigated by an underground automatic irrigation system. Water conserving systems are recommended.

2.8. Pathways

- Pathways are intended to provide attractive pedestrian access and use of any landscape area. Pathways will be considered “hardscape” and allowed to have less than 50% plant coverage if they adhere to the following guidelines:
 - A pathway shall be comprised of at least 50% flat hard surface walking area (e.g. stepping stones, pavers, or concrete). With the surrounding areas comprised of low lying plant material, decorative rock, or decorative mulch. Rock and mulch used in pathways must meet the requirements outlined in section 2.5.
 - A pathway shall be a maximum width of (4) four feet and bordered by plant material.



2.9. Xeriscaping Option

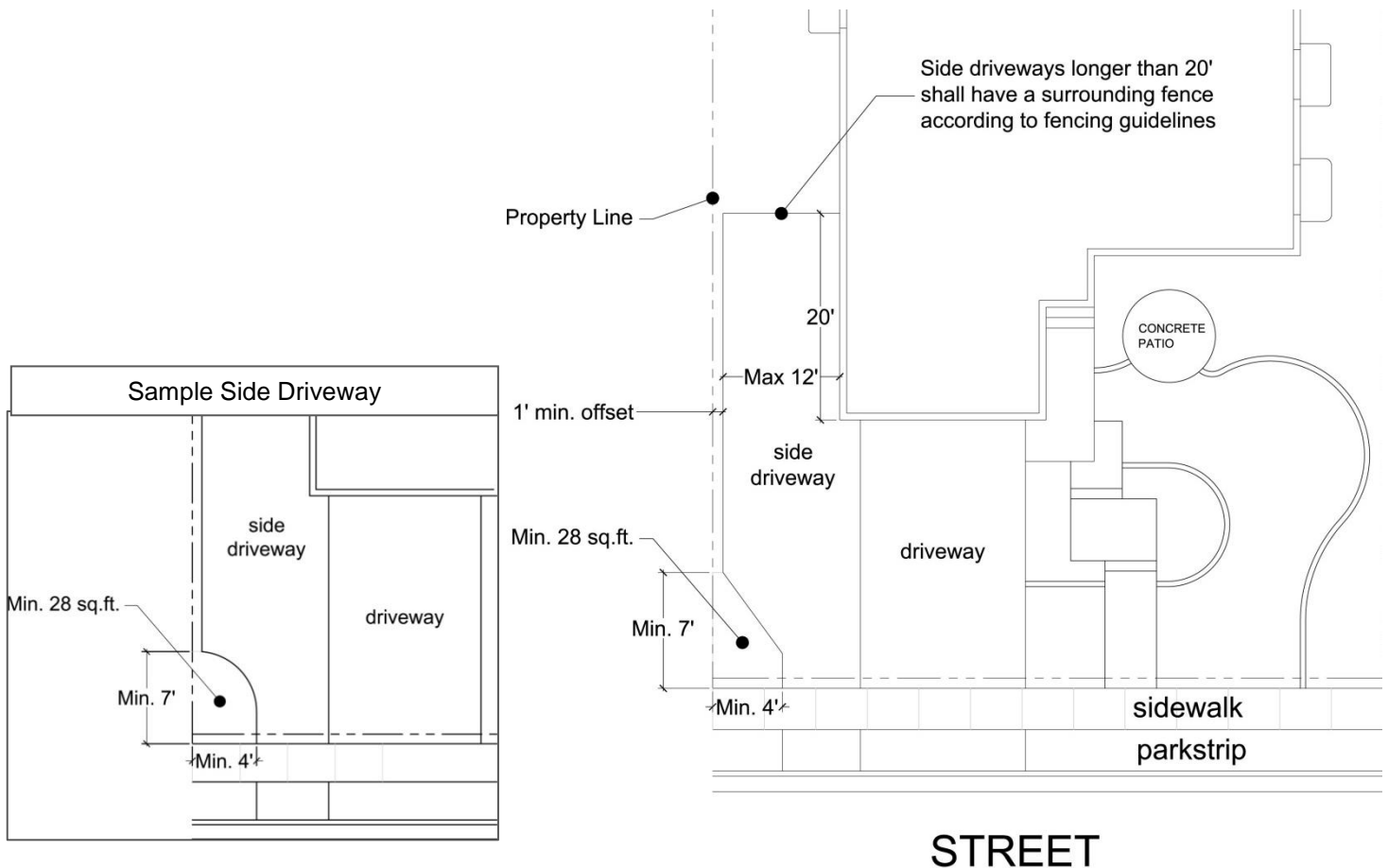
- Xeriscaping is a low water-use approach to landscaping consisting of drought-tolerant plants and water conserving irrigation systems.
- Turf (sod) requirements: unchanged, except:
 - Required turf (sod) to be replaced with drought tolerant turf grass (sod) (see Drought Tolerant Turf (sod) on page 23 & Drought Tolerant Plant list page 21)
 - Maximum coverage reduced to 60% of front yard landscapable area
 - Minimum coverage reduced to 30% of front yard landscapable area (60% for corner lots)
 - Percentage of turf grass recommended staying at or near the minimum area. (Reduced turf area or drought tolerant turf grass (such as buffalo grass) means less water use while still evoking a conventional landscape.)
 - Artificial turf (sod) is not allowed.
- Planter Bed requirements unchanged, except:
 - Minimum plant coverage at installation: 50% of planter bed
 - Minimum plant coverage 3 years after installation: 75% of planter bed
 - Plant clustering and spacing should be designed to reduce appearance of barrenness in areas devoid of plants.
- Tree requirements unchanged
- Mulch requirements unchanged except:
 - Areas devoid of plants should use decorative berming, mulch (rock or organic), boulders, and/or other ornamental landscaping so as not to appear barren.
 - Mulch (rock or organic) should be used to enhance the look of the yard, not just eliminate irrigated area
 - Mulching the soil minimizes evaporation, cools the soil, and reduces weed growth and soil erosion
- Irrigation: no spray heads except in lawn areas, drip irrigation for planter areas
 - Plants are to be grouped into water zones based on similar water need so that the sprinkler system doesn't waste water on plants that don't need it.
- "Zero-scaping" is not Xeriscaping
 - Although the term "zero-scaping" does not exist many people pronounce xeriscaping as "zero-scaping". Perceptions of "zero-scaping" utilize large amounts of rock and very few plants. Although this approach is water conserving it is not in line with our community feeling. Landscaping in this manner is not allowed.

2.10. Side Driveway Requirements

2.10.1. Standard Lot Requirements

Side driveways are not intended to dominate the street frontage with long stretches of concrete. It is desired that landscape material and vegetation separate neighboring driveways or properties. Therefore, all side driveways shall adhere to the following requirements:

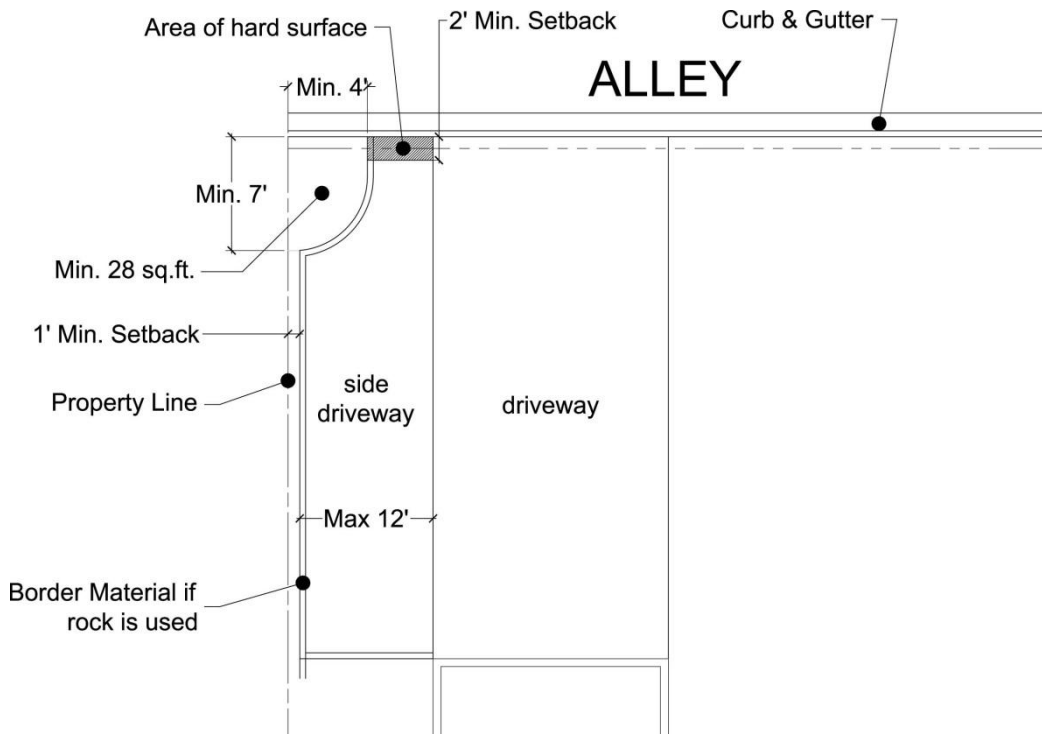
- All side driveways shall not exceed 12' in width.
- A landscape area shall be created separating any side driveway from the adjacent (neighboring) property; the side driveway; and the sidewalk. This landscape area should be no less than 28 square feet and extend a minimum of seven (7) feet behind the sidewalk and run a minimum of four (4) feet along the sidewalk.
- A side driveway shall be set a minimum of one (1) foot from the adjacent (neighboring) property line. In the exception of a corner lot, a side driveway shall be a minimum of three (3) feet from the adjacent (neighboring) property line.
- All side driveways shall be constructed of poured concrete or concrete pavers. Rock and gravel are not acceptable materials for side driveways and will be considered landscaping.
- A side driveway that is longer than 20 feet measured from the front plane of the home must be fenced according to Ranches HOA fencing guidelines
- Exceptions to these requirements will be considered for lots greater than ½ acre.



2.10.2. Alley Lot Requirements

Alley side driveways are intended to provide off-alley parking for registered vehicles while meeting the following requirements:

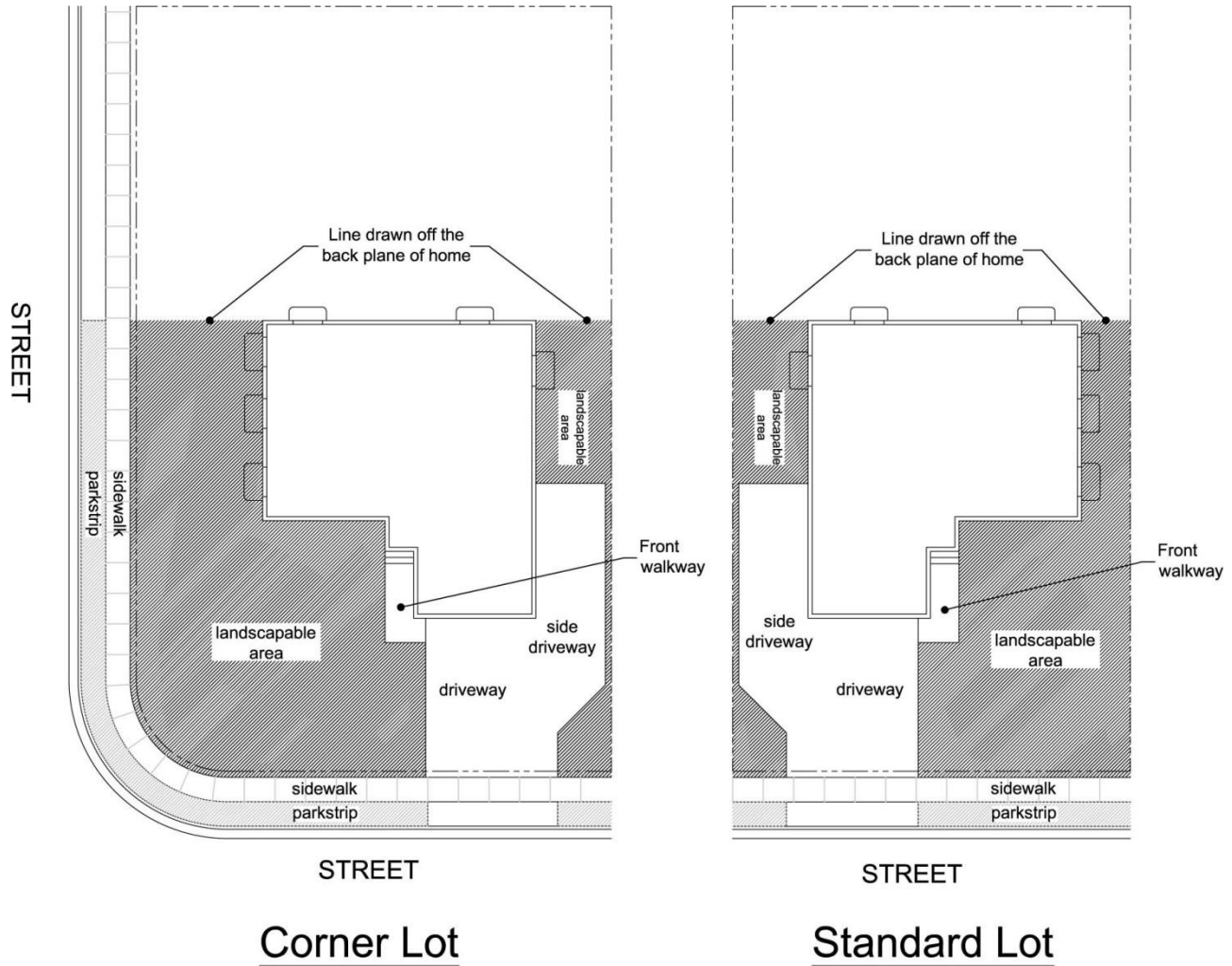
- All side driveways shall not exceed 12' in width.
- Alley side driveways shall be a minimum of one (1) foot from the adjacent (neighboring) property line.
- A landscape area shall be created separating any side driveway from the adjacent (neighboring) property; and the alley. This landscape area should be no less than 28 square feet. A minimum of 4 feet (along alley) and 7 feet (along side yard).
- Alley side driveways are recommended to be constructed of poured concrete or concrete pavers.
- Rock may be an acceptable material for Alley side driveways only and can be considered hardscape provided they adhere to the following criteria.
 - Alley side driveway shall be appropriately screened from view from any standard public street and the nearest adjacent property/lot. Must be approved by the DRC.
 - Ranches approved fencing shall be utilized to screen from any standard public streets.
 - Landscaping may be used to screen the side driveway from the nearest adjacent property/lot. Landscaping used as a screen should include the following components:
 - Thick foliage shrubs or similar plant material
 - Plant material should reach a minimum of four (4) feet in height at maturity.
 - At installation all plant material should be mature enough to require 5 gallon sized containers.
 - If a combination of landscaping and fencing are used to screen the side driveway the fencing shall return a minimum of (4) four feet along the side property line.
 - All rock must be a minimum of ¾" in diameter and compacted and installed below grade so it can be contained in the designated area. Marble chips, volcanic rock, or high contrast stone patterns (i.e., red, green, white, and black) shall not be allowed. Natural earth tone stone material may be used.
 - Border material (e.g. concrete curbing, metal edging, pavers, etc.) shall be used where the side driveway borders any landscape areas. Said border material is intended to contain all rock within the drive way area not allowing rock to merge into adjacent landscape areas.
 - Any rock will be setback a minimum of (2) two feet from the alley curb with a hard surface material (e.g. concrete, or pavers) utilized in this setback area.

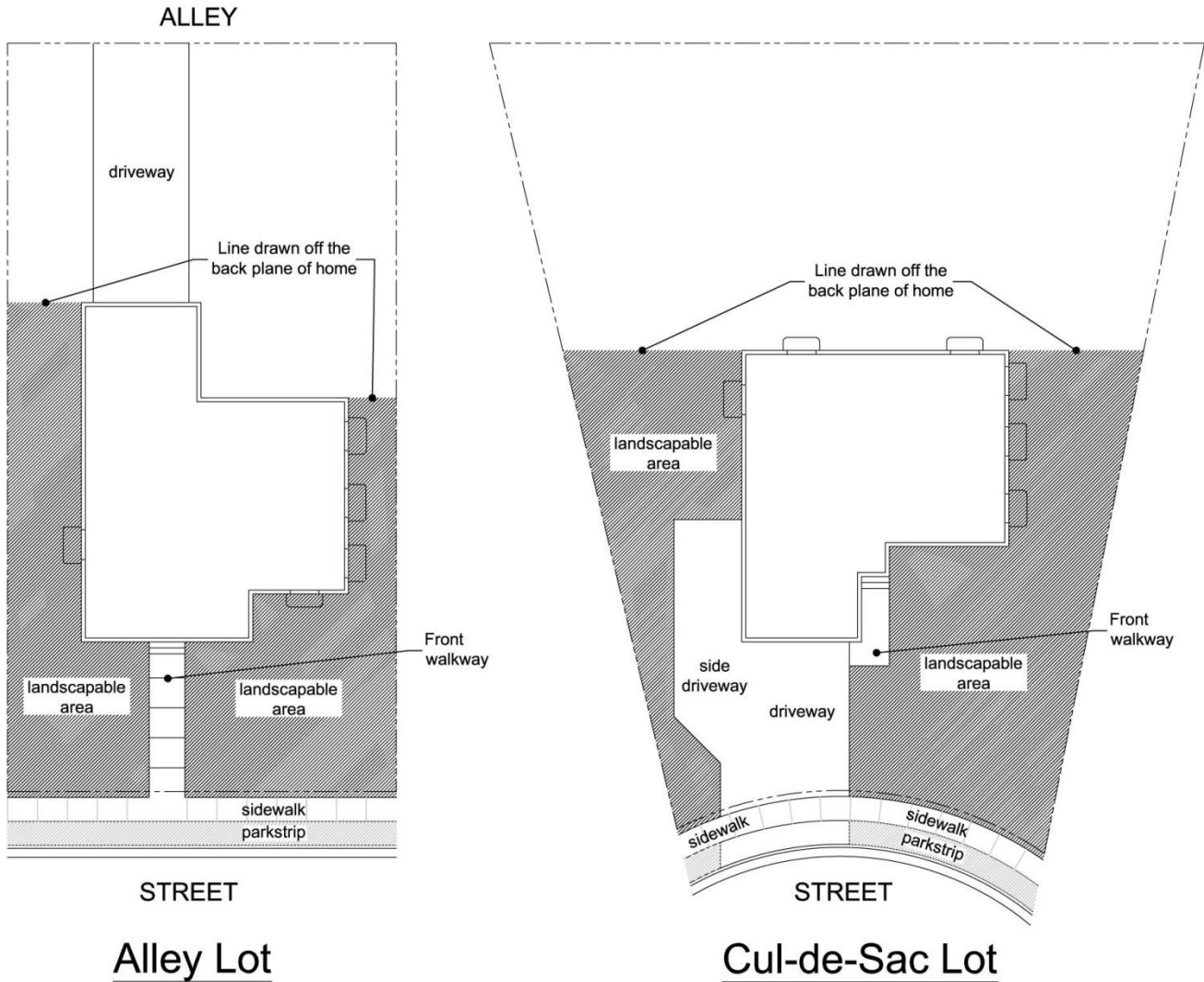


3. Front Yard Landscaping Requirements

The front yard of a lot is defined as the area of the lot beginning at the front sidewalk on any adjacent public street to a distance of at least to the rear most part of the residence from the public street. (See page 4 for figuring the landscapable area for your front yard)

- Front yards are to comply with all of the standards listed in Landscape Requirements (section 2).
- Front yard landscaping shall be completed no later than 180 days from construction or occupancy (whichever comes first). If occupancy occurs after snowfall, the 180 days will commence on April 30th.





4. Backyard Landscaping Requirements

The backyard of a lot is defined as the balance of the Landscape Area for a lot that is not included in the front yard as defined in section 3.

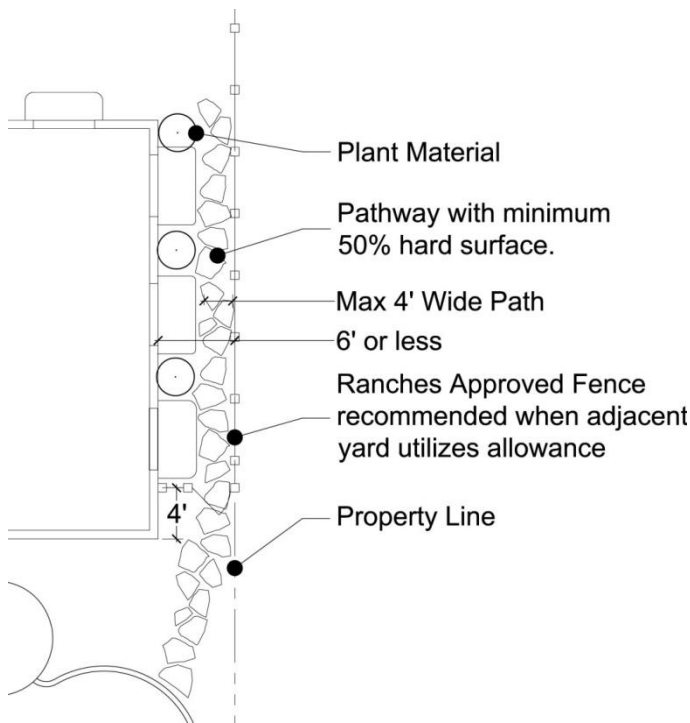
- The backyard is to be installed and maintained by the standards listed in Landscape Requirements (section 2), except there are no minimum requirement for trees.
- Turf (sod) may not be installed within 2 feet of the foundation of the home.
- If a native back yard is desired (unlandscaped), it must be fully fenced within the 180 days of occupancy. But if a lot backs up to any public open space (i.e. golf course, trail system, etc.) the back yard shall be landscaped according to the standards listed in Landscape Requirements (section 2).
- Maintenance requirements apply to both the front and back yards (see 'Maintain the Yard' on page 3).

5. Side Yard Landscaping Requirements

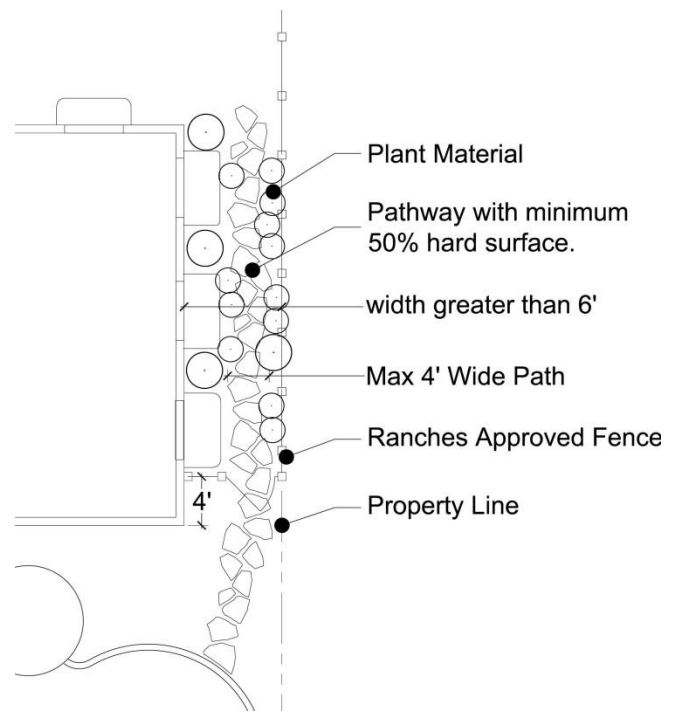
The side yard is defined as the area of the lot starting from the front corner of the house extending to the property line, then running along the property line to a point parallel with the rear corner of the house. Side yard is included in the definition of the front yard and therefore all Landscape Requirements (section 2) apply.

However, because of the unique nature and characteristics of narrow side yards the following allowance can be granted.

- Side yards that are 6 feet wide or less, and contain window wells will be allowed to create a pathway connecting the rear yard and front yards. Said pathway may be extended, in width, to incorporate the entire side yard, thus, eliminating the need to install plant material.
 - When two adjacent properties utilize this allowance it is recommended that they incorporate a fence to screen the pathways from any public street.
- Side yards that are greater than 6 feet wide may still utilize a pathway as part of their landscaping. However, the pathway shall be no greater than 4 feet in width and follow all guidelines for pathway installation (See section 2.8).



Side Yard 6 Feet or Less



Side Yard Greater than 6 Feet

6. Lots with unique characteristics

Every lot has different and unique characteristics that can make landscape planning both interesting and enjoyable. At times these unique characteristics make it extremely difficult or impossible to follow all of the Landscape Guidelines. Occasionally, variances (exceptions) are granted in order to accommodate these unique and challenging circumstances. If this is the case please follow the following process to request a variance.

- **Identify the Challenge** – Evaluate and determine the unique characteristic of your lot that makes it difficult to meet the Guidelines. Examples of these characteristics might be:
 - Large Lot – You have a lot that exceeds 1 acre in size which can present problems meeting front and rear yard landscape requirements.
 - Hillside Lot – You have a lot that has excessive slope that can make it difficult to meet planting and standard landscaping requirements.
- **Develop a Plan** – Create a landscape plan that will accommodate your lot characteristics while following as many guidelines as possible. Identify specifically on this plan the variances that will be needed. Explain why it is
- **Submit to the Design Review Committee (DRC)** – Submit your plan and variance request to the Management Office and they will schedule a time to have the issue reviewed by the DRC. During this review the DRC will make one of the following decisions:
 - Approve the request as submitted
 - Approve the request with specific modifications to the proposed plan
 - Deny the request as submitted

7. Storage Shed Requirements

Occasionally, as part of a landscape plan homeowners desire to install a free-standing storage shed within the landscape area. All sheds are to meet the following requirements and receive approval from the DRC.

- All sheds are to be placed on a hard surface (see section 1.4 for definition) pad sufficient to sustain the weight of the shed and items to be stored in the shed.
- All sheds, located in a side yard, should be screened from view and setback a minimum of 5 feet from the front of the home.
- All sheds should meet the following design criteria:
 - No greater than 10 feet from the ground to the apex of the roof line.
 - Roofing material to be similar style and color as the material used on the primary home.
 - Exterior material will be of similar type and color to the exterior material of the primary residence.
 - A design for any shed must be submitted and approved prior to installation.
- A pre-fabricated shed may be considered provided it is similar in color to the primary residence, and has been approved by the DRC.



Plan Checklist/Approval Letter

Date _____

Name _____ Phone _____

Address _____ Subdivision & Lot # _____

PLAN SUBMITTED:

- Standard Landscaping Xeriscape Landscaping Front Yard Side Yard Rear Yard
- Fencing Approval Other: _____

CHECKLIST - Plans submitted must adhere to the criteria listed on the back of this page (check all that apply):

COMPLETION DATE(S) – Please break down the final completion date so we can see where progress is being made: (i.e. 1/2011)

FINAL COMPLETION <input type="checkbox"/> Approved <input type="checkbox"/> Denied (See Comments)	Sprinklers <input type="checkbox"/> Approved <input type="checkbox"/> Denied (See Comments)	Sod <input type="checkbox"/> Approved <input type="checkbox"/> Denied (See Comments)	Plants <input type="checkbox"/> Approved <input type="checkbox"/> Denied (See Comments)	Fence <input type="checkbox"/> Approved <input type="checkbox"/> Denied (See Comments)	Park Strip <input type="checkbox"/> Approved <input type="checkbox"/> Denied (See Comments)
Concrete <input type="checkbox"/> Approved <input type="checkbox"/> Denied (See Comments)	Shed <input type="checkbox"/> Approved <input type="checkbox"/> Denied (See Comments)	<input type="checkbox"/> Approved <input type="checkbox"/> Denied (See Comments)	<input type="checkbox"/> Approved <input type="checkbox"/> Denied (See Comments)	<input type="checkbox"/> Approved <input type="checkbox"/> Denied (See Comments)	<input type="checkbox"/> Approved <input type="checkbox"/> Denied (See Comments)

The approval process takes approximately ten (10) business days. You will be contacted at the phone number listed above when the plan has been reviewed. To complete the approval process you will need to return and sign below. If you do not return to pick up your plan within two (2) weeks of the date you were notified of the approval/denial, your plan will be returned to you by mail. If completion dates were not requested or were denied and you have not picked up your plan you will be given a date to complete the work. Please see the notes on the back of this page for more details.

The Ranches HOA _____ Date _____

Approved (See attached letter and comments on the back)

Denied (See Comments on the back)

Called: _____ Called: _____ Mailed: _____

I, the undersigned, declare that construction will be carried out in accordance with the above completion date, The Ranches guidelines, federal and local ordinances and requirements. Any changes to the approved plan will require resubmission.

Homeowner Signature _____ Date _____



All plans submitted must adhere to the following criteria (check all that apply):

- Landscaping/Fencing plan is drawn to a measureable scale (i.e. 1 inch = 10 feet)
- Landscaping/Fencing plan clearly identifies and shows the location of the home, street, existing buildings, driveway, sidewalks, fencing, and any other proposed element.
- Landscaping plan locates turf, plant material (i.e. trees, shrubs, perennials, etc.) rock and mulch and graphically demonstrates proper plant coverage as per landscape guidelines.
- Landscaping plan utilizes plant material from the recommended plant list.
- Landscaping plan follows The Ranches HOA Landscape Guidelines.
- Fencing plan follows The Ranches Fencing Guidelines.
- Fencing plan identifies fencing materials and stain.

Comments:

The following are the completion dates that have been approved for the attached plan. Please contact our office immediately if you would like to discuss these dates.

FINAL COMPLETION	Sprinklers	Sod	Plants	Fence	Park Strip
Concrete	Shed				

(801) 789-7900

Creating a Base Map for Your Landscape Plan

The easiest way to get started with your landscape plan would be to use a site plan from your builder or a plat map available at the city offices, county recorder or Utah County Online (www.co.utah.ut.us/landrecords/index.asp). If you were not involved in the building of your home you can go to the city offices and ask about getting a copy of your plat map. A plat map does not locate your home (typically) on the lot. You will need to locate it yourself. If these two options are not available then you can create your own base map to use in creating your landscape plan. Follow these steps to create your own base map:

1. **Graph Paper** - Buy some graph paper from a local office or art supply store. You can usually find it in the drafting section. You will want to buy more than one sheet (they are usually sold in pads). Check the grids on the graph paper to make sure that they match the scale you would like to use in your landscape plan. Most designers prefer to work with landscape plans drawn to a scale where 1 inch = 10 feet or 1 inch = 8 feet. For larger lots a scale of 1 inch = 20 feet may need to be used. This means that every 10 (or 8 or 20) feet of actual measure equals 1 inch on your plan. Use a scale that will ensure that your entire landscape will fit on one single sheet of paper. It will be necessary to take a measurement of your entire lot perimeter to know this. You might want to consider purchasing an engineer scale while at the art or office supply store. An engineer scale will allow you to easily measure in 1 inch = 10 or 20 feet.
2. **Measure and Record** - Measure from the front corners of the house to the front property lines and from the front corners of the house to the side property lines. Mark these measurements on your graph paper. Now you have the exact location of your house on your lot. From this starting corner, measure the exterior walls and all angles of your house and draw them onto your graph paper. Once you've done this you'll have an exact template of your house and front yard. Next, measure from the back of the house to the back property lines. Don't forget to include measurements of sidewalks, decks, driveways and any other permanent elements on the property. It is useful to locate utility boxes. If there are existing trees, shrubs, or anything that you wish to keep, measure and place them accurately on your base map as well. Make sure that you indicate which direction is north on your map and the scale that you used (i.e. 1 inch = 10 feet).

Congratulations! Now you have a base map to work with! But before you begin the landscape plan, make four or five copies of your base plan. This will prove useful just in case you mess up. You will also need to turn in at least two copies of your finished landscape plan to the HOA office.

Things to Consider When Designing Your Landscape

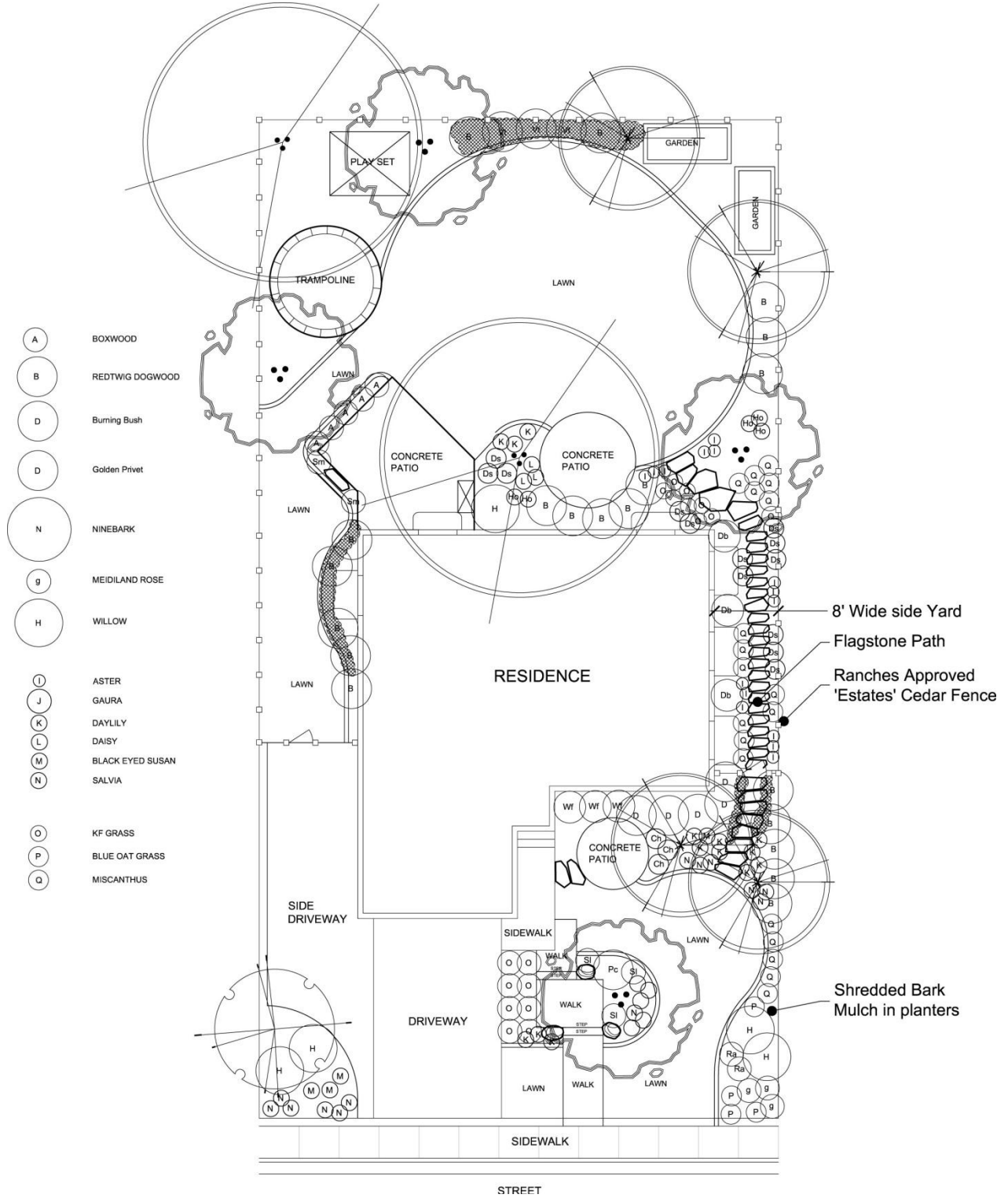
- Thoroughly read through and understand the landscape guidelines for the Ranches HOA before starting your design. Having the guidelines fresh on your mind will assist you in creating a comprehensive plan that fits within the guidelines.
- Where is the sun the strongest in your yard? It should be on the south and west sides of your home. Consider putting shade trees to help shade your home and seating areas. Properly placed shade trees can significantly diminish power bills in the heat of the summer.
- Consider making scaled versions of desired yard elements in plan view. For example, make the outline of a trampoline on a piece of paper at the same scale as your base map. Do this with all of the desired elements and juggle them on your base map. This will allow you to easily decide what works best.

Sample Plans

All plant material will be selected from the Ranches Approved Plant List



Sample Plans (cont.)



Remember that submitted plans need to be to a measurable scale.

Drought Tolerant Plant List

Trees

<i>Common Name</i>	<i>Botanical Name</i>	<i>Common Name</i>	<i>Botanical Name</i>
Ash	Fraxinus	Hornbeam	Carpinus
Austrian Pine	Pinus	Idaho Locust	Robinia
Birch	Betula	Juniper	Juniperus
Blue Atlas Cedar	Cedrus	Kentucky Coffee Tree	Gymnocladus
Bristlecone Pine	Pinus	London Plane Tree	Platanus
Catalpa	Catalpa	Maple	Acer
Cedar	Cedrus	Mayday Tree	Prunus
Cherry, Flowering	Prunus	Mountain Ash	Sorbus
Chokecherry	Prunus	Oak	Quercus
Colorado Spruce	Picea	Pear (flowering)	Pyrus
Crabapple (flowering)	Malus	Pinyon Pine	Pinus
Elm(not Chinese)	Ulmus	Ponderosa Pine	Pinus
Mulberry (fruitless)	Morus	Redbud	Cercis
Goldenrain Tree	Koelreuteria	Scotch Pine	Pinus
Hackberry	Celtis	Sumac	Rhus
Hawthorn	Crataegus	Willow	Salix
Honeylocust	Gleditsia	Zelkova	Zelkova

Shrubs

<i>Common Name</i>	<i>Botanical Name</i>	<i>Common Name</i>	<i>Botanical Name</i>
Arborvitae	Thuja	Juniper	Juniperus
Barberry	Berberis	Lilac	Syringa
Beauty Bush	Kolkwitzia	Mock Orange	Philadelphus
Beechleaf Mt. Mahogany	Cercocarpus	Mountain Lover	Pachistima
Big Sage	Artemisia	Nanking Cherry	Prunus
Blue Mist Spirea	Caryopteris	Ninebark	Physocarpus
Boxwood	Buxus	Oregon Grape	Mahonia
Broom	Cytisus	Potentilla	Potentilla
Buckthorn	Rhamnus	Privet	Ligustrum
Burning Bush	Euonymus	Pygmy Peashrub	Caragana
Butterfly Bush	Buddleia	Rose of Sharon	Hibiscus
Chokecherry	Prunus	Roses	Rosa
Cistena Plum	Prunus	Rubber Rabbitbrush	Chrysothamnus
Cotoneaster	Contoneaster	Shrubby Swiss. Mt. Pine	Pinus
Curleaf Mt. Mahogany	Cercocarpus	Siberian Peashrub	Caragana
Currant	Ribes	Snowberry	Symphoricarpos
Dogwood	Cornus	Spirea	Spireae
Elderberry	Sambucus	Sumac	Rhus
Euonymus	Euonymus	Thinleaf Alder	Alnus
Flowering Almond	Prunus	Viburnum	Viburnum
Forsythia	Forsythia	Weigela	Weigela
Fourwing Saltbush	Atriplex	Western Sand Cherry	Prunus
Globe Peashrub	Caragana	Willow	Salix
Honeysuckle	Lonicera	Yew	Taxus
Hydrangea	Hydrangea	Yucca	Yucca
Jap. Flowering Quince	Chaenomeles		

Perennials

<i>Common Name</i>	<i>Botanical Name</i>	<i>Common Name</i>	<i>Botanical Name</i>
Aster	Aster	Mexican Primrose	Oenothera
Baby's Breath	Gypsophila	Mums	Leucanthemum
Basket of Gold	Alyssum	Oriental Poppy	Papaver
Beard Tongue	Penstemon	Oxeye Daisy	Heliopsis
Bellflower	Campanula	Pasque Flower	Anemone
Black-Eyed Susan	Rudbeckia	Penstemon	Penstemon
Blanket Flower	Gaillardia	Peony	Paeonia
Bleeding Heart	Dicentra	Pincushion Flower	Scabiosa
Blue Flax	Linum	Plantain Lily	Hosta
Bluebells	Campanula	Prairie Sage	Artemisia
Candytuft	Iberis	Red Hot Poker	Kniphofia
Carnation	Dianthus	Rock Soapwort	Saponaria
Columbine	Aquilegia	Rock Foil	Saxifraga
Coneflower	Echinacea	Rockcress	Aubretia
Coneflower	Rudbeckia	Russian Sage	Perovskia
Coral Bells	Heuchera	Sage	Salvia
Coreopsis	Coreopsis	Salvia	Salvia
Creeping Phlox	Phlox	Saxifraga	Bergenia
Daylily	Hemerocallis	Sedum	Sedum
Delphinium	Delphinium	Shasta Daisy	Leucanthemum
Evening Primrose	Oenothera	Showy Goldeneye	Viguiera
Foxglove	Digitalis	Silvermound	Artemisia
Garden Phlox	Phlox	Snow in Summer	Cerastium
Gayfeather	Liatris	Speedwell	Veronica
Geranium	Geranium	St. Johnsworth	Hypericum
Germander	Teucrium	Stonecrop	Sedum
Goatsbeard	Astilbe	Strawberry	Fragaria
Hollyhocks	Alcea	Sulpher Flower	Eriogonum
Iris	Iris	Sweet William	Dianthus
Jacob's Ladder	Polemonium	Tickseed	Coreopsis
Larkspur	Delphinium	Veronica	Veronica
Lavender	Lavandula	Wandflower	Gaura
Loosestrife	Lysimachia	Whitebells	Campanula
Lupine	Lupinus	Yarrow	Achillea
Maiden Pinks	Dianthus	Yellow Flax	Linum
Maltese Cross	Lychnis		

Ornamental Grasses

<i>Common Name</i>	<i>Botanical Name</i>	<i>Common Name</i>	<i>Botanical Name</i>
Blood Grass	Imperata	Pampas Grass	Cortaderia
Blue Fescue	Festuca	Oat Grass	Helictrotricon
Feather Grass	Calamagrostis	Red Switch Grass	Panicum
Fountain Grass	Pennisetum	Ribbon Grass	Phalaris
Maiden Grass	Miscanthus	Tufted Hairgrass	Deschampsia

Groundcovers

<i>Common Name</i>	<i>Botanical Name</i>	<i>Common Name</i>	<i>Botanical Name</i>
Bishops Weed	Aegopodium	Spotted Dead Nettle	Lamium
Creeping Oregon Grape	Mahonia	St. Johnswort	Hypericum
Creeping Jenny	Lysimachia	Strawberry	Fragaria
Dwarf Periwinkle	Vinca	Sweet Woodruff	Gallium
Goldmoss Sedum	Sedum	Thyme	Thymus
Kinnikinnick	Arctostaphylos	Tricolor Sedum	Sedum

<i>Common Name</i>	<i>Botanical Name</i>	<i>Common Name</i>	<i>Botanical Name</i>
Moss	Sagina	Utah Sedum	Sedum
Periwinkle	Vinca	Veronica	Veronica
Snow in Summer	Cerastium	Winter Creeper	Euonymus
Spring Cinquefoil	Potentilla		

Vines

<i>Common Name</i>	<i>Botanical Name</i>	<i>Common Name</i>	<i>Botanical Name</i>
Boston Ivy	Parthenocissus	Trumpet Vine	Campsis
Clematis	Clematis	Virginia Creeper	Parthenocissus
Honeysuckle	Lonicera		

Recommended Drought Tolerant Turf

<i>Common Name</i>	<i>Botanical Name</i>	<i>Common Name</i>	<i>Botanical Name</i>
Drought Tolerant Kentucky Bluegrass	Poa	Perennial Ryegrass	Lolium
Fine Leaf Fescue	Festuca		

Acceptable Drought Tolerant Turf

<i>Common Name</i>	<i>Botanical Name</i>	<i>Common Name</i>	<i>Botanical Name</i>
Buffalograss	Bouteloua	Wheatgrass	Triticum

IMPORTANT NOTE: The above list is not meant to be all inclusive. The inclusion of the above plants on this list does not guarantee that said plants will survive in your yard. Proper care, maintenance and selection must happen in order to have the highest possibility of plant survival. Please consider sun, shade, water requirements, etc. when selecting each plant.

If you would like to have a plant in your yard that is not on this list it will need the approval of the Design Review Committee.

Park Strip Trees Listed per Subdivision by Street Name

<u>Sub Division</u>	<u>Street Name</u>	<u>Tree Name</u>
<u>Ash Point</u>	Saddle Rock Road	*Cleavland Flowering Pear
	Weeping Ash Way	Greenspire Lindon
	White Ash Way	Greenspire Lindon
	Ash Point Drive	Greenspire Lindon
	Mtn. Ash Way	Patmore Green Ash
	Ash Point Circle	Patmore Green Ash
	Ruby Valley Drive	*Cleavland Flowering Pear
<u>Castle Rock</u>	Glengary Court	*Capital Flowering Pear
	Swansea Court	*Capital Flowering Pear
	Sparrow Hawk	*Capital Flowering Pear
	Balmoral Drive	*Capital Flowering Pear
	Lochdoon Lane	*Capital Flowering Pear
	Castle Rock Road	*Capital Flowering Pear
	Golden Eagle Road	*Capital Flowering Pear
	Castle Cary Circle	*Capital Flowering Pear
<u>Chimney Rock</u>	Windhover Road	Patmore Green Ash
	Kookaburra Court	Patmore Green Ash
	Windhover Circle	Patmore Green Ash
	Golden Eagle Road	London Plane Tree
<u>Crittenden Corner</u>	Red Hawk Road	London Plane Tree
	Tinamous Road	London Plane Tree
	Peregrine Road	Greenspire Lindon
	Peregrine Circle	Greenspire Lindon
	Quail Court	Greenspire Lindon
	Spotted Owl Court	Greenspire Lindon
<u>Diamond Springs</u>	Golden Eagle Road	London Plane Tree
	Sparrow Hawk Way	London Plane Tree
	Kitty Hawk	Patmore Green Ash
	Red Kite Way	*Common Hackberry
	Barn Owl Way	*Common Hackberry
	Snowy Owl Road	Patmore Green Ash
	Snowy Owl Road (so. Of Red Kite)	London Plane Tree
	Snowy Owl Court	London Plane Tree
<u>Eagles Gate</u>	Turnberry Road	Greenspire Lindon
	Scottscraig Drive	Greenspire Lindon
	Muirfield Street	Shademaster Honeylocust
	Royal Troon Drive	*Common Hackberry
	Carnoustle Road	*Turkish Filbert
	Nairn Road	Patmore Ash

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	Gullane Road	Greenspire Lindon
	Royal Aberdeen Road	Patmore Green Ash
	Royal Dornoch Drive	Greenspire Lindon
<u>Eagle Top</u>	Clarck Circle	Flowering Crabapple
	Eagle Top	Flowering Crabapple
<u>Freemont Springs</u>	Ute Drive	Patmore Green Ash
	Lewis Street	Patmore Green Ash
	Clark Street	*Common Hackberry
<u>Friday's Station</u>	Appaloosa Way	Patmore Green Ash
<u>Hidden Canyon</u>	Sandpiper Road	Cleavland Spire Flowering Pear
<u>Jacobs Well</u>	Jacobs Court	Cleavland Spire Flowering Pear
	Jacobs Way	Cleavland Spire Flowering Pear
	Ranches Parkway	Cleavland Spire Flowering Pear
	Porter Circle	Cleavland Spire Flowering Pear
<u>Kennekuk</u>	Kennekuk Lane	Patmore Green Ash
	Kennekuk Circle	Patmore Green Ash
	Prospector Court	Bur Oak
<u>Kiowa Valley</u>	Sioux Street	*Common Hackberry
	Ute Drive	Shademaster Honeylocust
	Ute Drive (north of Golden Eagle)	Patmore Green Ash
	Kiowa Parkway	Chanticleer Pear
	Golden Eagle Road	Greenspire Lindon
	Mohican Drive	*Common Hackberry
	Pawnee Road	Greenspire Lindon
	Hopi Road	Patmore Green Ash
	Comanche Street	Patmore Green Ash
	South Pass Road (South Side)	Chanticleer Pear
	South Pass Road (North Side)	Patmore Green Ash
	Cherokee Street	Chanticleer Pear
	Chippewa Drive	Chanticleer Pear
	Chinook Street	Radiant Crabapple
	Mohawk Drive	Patmore Green Ash
<u>Liberty Farm</u>	Golden Eagle Road	*Capital Flowering Pear
	Ranches Parkway	Bur Oak
	James Street	*Capital Flowering Pear
	Rose Street	*Capital Flowering Pear
	Grant Street	Skyline Honeylocust
<u>Lone Tree</u>	Lonetree Parkway	Chanticleer Pear
	Aspen Way	*Common Hackberry
	Firwood Lane	*Common Hackberry
	Sweetgum Drive	*Common Hackberry
	Red Pine Road (SW of Pinecone)	Shademaster Honeylocust

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Red Pine Road (NE of Pinecone)	*Common Hackberry
Pinecone Road	London Planetree
Ficus Way	*Common Hackberry
Bristlecone Road	Shademaster Honeylocust <i>OR</i>
	Common Hackberry <i>OR</i>
	Chanticleer Pear
Atlas Cedar Road	Redspire Flowering Pear
Red Oak Road	Chanticleer Pear
Sycamore Drive	Redspire Flowering Pear
Weeping Cherry Lane	Redspire Flowering Pear
Blue Spruce Road	Redspire Flowering Pear
Walnut Drive	Redspire Flowering Pear
<u>Mt. Airey</u>	
Mt Airey Drive	Patmore Green Ash <i>OR</i>
	Chanticleer Pear
Torrey Pines Loop	Cimmzam Ash <i>OR</i>
	Chanticleer Pear
Pebble Creek Loop	Cimmzam Ash <i>OR</i>
	Chanticleer Pear
Spyglass Drive	Patmore Green Ash <i>OR</i>
	Chanticleer Pear
<u>O Fallons Bluff</u>	
O Fallon's Way	London Plane Tree
Wyatt Earp Avenue	London Plane Tree
Butterfield Road	London Plane Tree
Golden Eagle Road	London Plane Tree
<u>Point Lookout</u>	
Sandpiper Road	Patmore Green Ash
East Point Lookout Rd.	Patmore Green Ash
West Point Lookout Rd.	Patmore Green Ash
Lochdoon Circle	Patmore Green Ash
Lochdoon Lane	Patmore Green Ash
<u>Porters Crossing</u>	
O'Fallons Way	*Capital Flowering Pear
Parker's Place	*Capital Flowering Pear
Park Street	*Capital Flowering Pear
Cattle Drive	*Capital Flowering Pear
Dillon's Drive	*Capital Flowering Pear
Three Crossing Road	Greenspire Lindon
Clark Extension	*Capital Flowering Pear
Smith Ranch Road	London Plane Tree
Short Street	*Capital Flowering Pear
<u>Rockwell Village</u>	
Tinamous Road	*Frontier Elm
Tawny Owl Circle	*Common Hackberry
Condor Court	*Common Hackberry
Goshawk Road	*Frontier Elm

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Ruby Valley

Ruby Valley Drive
 Mountain Ash Way
 Saddle Rock Road
 Round Rock Circle
 Saddle Rock Circle

Cleavland Flowering Pear
 *Common Hackberry
 *Common Hackberry
 Patmore Green Ash
 Cleavland Flowering Pear

Rush Valley

Geronimo Drive
 Cochise Way
 Blackhawk Road
 Saddleback Drive
 Smith Ranch Road
 Chippewa Way
 Apache Circle
 Navajo Drive

Greenspire Lindon
 Patmore Green Ash
 Patmore Green Ash
 *Capital Flowering Pear
 *Capital Flowering Pear
 London Plane Tree
 London Plane Tree
 Patmore Green Ash

Saddleback

Wyatt Earp Avenue
 Smith Ranch Road
 Chilton Road
 Chilton Court
 Butterfield Road
 Saddleback Road

*Capital Flowering Pear
 *Capital Flowering Pear
 Greenspire Lindon
 Greenspire Lindon
 Greenspire Lindon
 *Capital Flowering Pear

Eagles Gate - Showdown

Turnberry Road (west of Cunning)
 Cunning Hill Drive
 Turnberry Road (east of Cunning)
 Scotsraig Drive
 St. Andrews Drive
 Prestwick Lane
 Western Gails Drive
 Rose Hearty Lane
 Nairn Road
 Royal Aberdeen Road

*Common Hackberry
 *Common Hackberry
 Greenspire Lindon
 *Common Hackberry
 Greenspire Lindon
 *Common Hackberry
 Chanticleer Pear
 Greenspire Lindon
 Autumn Applause White Ash
 Patmore Green Ash

Simpson Springs

Simpson Springs Road (east)
 Simpson Springs Road (west)

Marshal Seedless Ash or
 Shademaster Honeylocust

Skyline Ridge

South Pass Road
 South Pass Cove
 Hopi Road
 Sierra Way
 Hollow Crest Drive
 Pawnee Road

Chanticleer Pear
 Chanticleer Pear
 Chanticleer Pear
 Chanticleer Pear
 Chanticleer Pear
 Chanticleer Pear

Stonebridge

Stonebridge Lane
 Skye Loop
 Stone Court

Chanticleer Pear
 Chanticleer Pear
 Chanticleer Pear

Sundance

Tinamous Road
 Peregrine Road
 Sparrowhawk Way
 Sparrowhawk Circle

*Common Hackberry
 London Plane Tree
 Patmore Green Ash
 Patmore Green Ash

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	Condor Court	Patmore Green Ash
	Kitti Wake Court	Patmore Green ASH
<u>Sunrise At Kiowa</u>	Cherokee Street	Chanticleer Pear
	DaKota Drive	Chanticleer Pear
	Yakima Way	Chanticleer Pear
<u>Three Crossing</u>	Parkers Place	Greenspire Lindon
	Dodge Street	Greenspire Lindon
	Dillon's Drive	Greenspire Lindon
	Smith Ranch Road	London Plane Tree
	Three Crossings Road	Greenspire Lindon
	Wyatt Earp Avenue	*Capital Flowering Pear
	Powell Street	Greenspire Lindon
	Cattle Drive	

The Board has approved the following street tree replacement, for trees that may be dying;

<u>Current Tree</u>	<u>Replace With</u>
Celebration Maple	Cleveland Flowering Pear
Armstrong Maple	Capital Flowering Pear
Red Flame Fairview maple	Common Hackberry
Lanceleaf Cottonwood	Turkish Filbert
Autumn Blaze Mable	Common Hackberry
Norway Maple	Village Green Zelkova
Sweetgum	Frontier Elm

If your Street Name is not listed, please contact the Management Office to get the correct tree name. 801-789-7900